
PLANNING ADVISORY COMMITTEE MINUTES

Tuesday, March 8, 2022 | 5:00pm
Virtual Meeting via Zoom

MEMBERS PRESENT	Vice Chair Mark Ebert Keith Hopkins Harold Fleet Terry Leis Peter Hambly
MEMBERS ABSENT	Chair Tim Norwood (with notice)
OTHERS PRESENT	Ron Davidson Daniel Cheatley John Gill Andre Sherman Stefano Racco Bryan Haack Jack Schenk Mayor Sue Pateron Brandon Koebel Dave Hocking Don Tedford, Secretary-Treasurer Brenda Goetz, Deputy Secretary-Treasurer Brian Tocheri, CAO/Clerk April Marshall, Economic Development Manager Andrew Wilken
DISCLOSURE OF PECUNIARY INTEREST	Nil
DELEGATIONS	Ron Davidson Daniel Cheatley John Gill Andre Sherman Stefano Racco Bryan Haack Jack Schenk

1. Adoption of February 15th, 2022 Regular Meeting Minutes

Moved by KEITH HOPKINS / Seconded by PETER HAMBLY

THAT the minutes of the February 15th, 2022 regular meeting be approved as printed and circulated.

CARRIED

2. Business arising from Minutes

The Secretary-Treasurer stated that the Public Meeting relating to Item #10.1 of the previous meeting is being held later tonight by the Committee of Adjustment.

3. Local Official Plan No. 4 (LOPA#4) -----Town of Hanover (Housekeeping)

The Secretary-Treasurer stated that this item is deferred.

4. Zoning Bylaw Amendment No. Z1-21 -----Town of Hanover (Housekeeping)

The Secretary-Treasurer stated that this item is deferred.

5. Zoning Bylaw Amendment No. Z4-21 -----Tedford, Don & Donna

D. Tedford stated this item is deferred to a future meeting.

6. Consent Application Nos. B1-21 to B6-21--Tedford, Don & Donna

D. Tedford stated this item is deferred to a future meeting.

7. Zoning Bylaw Amendment No. Z1-22 -----Georgiou, Loukia c/o Ron Davidson Land Use Planning Consultant

Vice-Chair Mark Ebert welcomed Ron Davidson, agent of Loukia Georgiou to the meeting.

Ron Davidson advised the Committee members that Grey County recently granted an extension to the Subdivision Draft Plan approval (File #42T-2016-08). Zoning Bylaw Amendment (File No. Z1-22) applies to a portion of the lands located at the north-east area of the subdivision, and backs onto the former railway lands.

The Hydrogeological Investigation determined that the subject lands possess a relatively high water table. Therefore, the developer has decided to construct higher units, without basements. The amendment is proposing to increase building height from 10.0 metres to 13.0 metres for these lands. The visual streetscape will be improved, this proposal offers more efficient use of the lands and is more desirable.

Subsequent to a good discussion, it was then;

Moved by PETER HAMBLY / Seconded by KEITH HOPKINS

THAT the Planning Advisory Committee recommend to Council that the application for Zoning By-Law Amendment (File No. Z1-22) move forward to a public meeting to rezone certain lands from Residential Type 4 (R4) to Residential Type 4 Site Specific (R4-41) Zone to increase maximum building height from 10.0 m to 13.0 m for townhouses proposed on Blocks 73 and 75 on the Draft Plan of Subdivision (File #42T-2016-08, save and except for the most northerly 52.7 metre portion of Block 73 where the building height must be limited to one storey because of the hydro substation.

CARRIED

8. Proposed Site Plan -----former JDSS

The Secretary-Treasurer spoke to the consultant, who is working on the Environmental Impact Study and Slope Stabilization report, in conjunction with SVCA. It is anticipated that work will commence this summer with the repurposing of the former school and the development of proposed townhouses. With the continuation of 5th Avenue between 6th and 7th Street, there would be a requirement to demolish part of the existing building.

9. Proposed Site Plan -----425 Hanover Inc. c/o Daniel Cheatley

Vice-Chair Mark Ebert welcomed Daniel Cheatley to the meeting to discuss his client's proposal.

The Secretary Treasurer updated the Committee relating to the Zoning Bylaw Amendment (File No. Z3-21) for which rezoned the lands from Corridor Commercial (C2) Zone to Corridor Commercial Site Specific (C2-38) for lands known as 434 18th Avenue.

The Secretary-Treasurer stated that the site plan was amended to reflect concerns expressed at the Public Meeting i.e. the addition of a privacy fence / hedge and removal of an unsafe tree. The majority of the parking will be within the building footprint. The building has been moved to the north and the balconies facing abutting neighbours have been recessed to improve privacy. The new owners of the adjacent property known as 645-649 10th Street are aware of this development.

Mr. Cheatley highlighted the site plan which reflects a 4-storey, 21-unit apartment building with 28 parking spaces. There will be 7 dwelling units on floors 2-4 consisting of 1, 2 and 3 bedroom units offering a broad range of housing options. The exterior is conceptual, and final building materials will be addressed during permitting process.

Subsequent to a good discussion, it was then;

Moved by HAROLD FLEET / Seconded by TERRY LEIS

THAT the Planning Advisory Committee recommend to Council that the site plan prepared by Wren Design.ca and dated February 10, 2022 (as attached) proceed to a site plan agreement for development of property known as 434 18th Avenue.

CARRIED

10. Proposed Site Plan Agreement-----Gill, John c/o Andre Sherman, Architect

Vice-Chair welcomed John Gill and Andre Sherman to the table to discuss their proposal.

The Secretary-Treasurer stated that these lands were formerly owned by Alternative Medical Solutions. Site Plan Control Bylaw 2856-14 was passed by Hanover Council on July 14, 2014 to allow for the construction of a 48,750 square foot building for the production of medical marijuana at 595 1st Street and the building was constructed but never completed on the interior or exterior site works.

John Gill, on behalf of the owners, stated there is a demand for smaller industrial units. Therefore, the existing building will be divided into 26 units complete with exterior entrances; 13 units on each side. Each unit will be approximately 1,700 to 1,800 square feet in area, and based upon requirements from tenants, units can be combined to accommodate larger floor areas.

The owner is proposing to construct a new 38,000 square foot Industrial Building (Building 'B'). Construction of Building 'B' will commence when the existing building is fully occupied. It is proposed that there will be 22 to 24 units within this building.

The Secretary-Treasurer stated that the proposed development complies with Comprehensive Zoning Bylaw 2912-15. R. J. Burnside & Associates Limited completed the Lot Grading & Drainage Plan for this development. The paved area will be extended when Building 'B' is constructed.

Subsequent to a very good discussion, it was then;

MOVED BY PETER HAMBLY / SECONDED BY HAROLD FLEET

THAT the Planning Advisory Committee recommend to Council that the site plan for 595 1st Street and approved with Bylaw 2856-14 be amended to replace the site plan as prepared by Andre Sherman Architect and dated March 4, 2022 (see attached) with the condition that the Stormwater Management Plan be updated for the asphalt paving area, and be outside of the SVCA Regulated Area.

CARRIED

11. Proposed Site Plan Agreement-----Greystone c/o Stefano Racco

Vice-Chair welcomed Stefano Racco, Greystone Inc. to the table to discuss his proposal.

The Secretary-Treasurer stated that Hanover Council passed Site Plan Agreement Bylaw 2612-08 with Intervivos Investments Limited for lands known as 893 to 937 10th Street. The agreement included construction of a Shoppers Drug Mart, LCBO and a Boston Pizza restaurant. The pad area of 565.5 m² was installed for the restaurant during site works.

Stefano Racco, on behalf of Skyline Retail Real Estate stated that a 3-unit building will be constructed on the existing pad area (see attached). The owners have a lease agreement with Popeyes Louisiana Kitchen for a 30-seat restaurant with drive-thru. The owners are anticipating commencing construction in the spring, with a fall occupancy. Mr. Racco is not aware of any lease arrangements for the other two commercial units. The Secretary-Treasurer stated that parking requirements are greater for restaurants. Therefore, the existing parking spaces will accommodate the new restaurant and future tenants.

Subsequent to a good discussion, it was then;

MOVED BY KEITH HOPKINS / SECONDED BY TERRY LEIS

THAT the Planning Advisory Committee support the site plan to change from a Boston Pizza Restaurant to Popeyes Louisiana Kitchen restaurant for lands known as 937 10th Street.

CARRIED

12. County of Grey Notice of Public Meeting re: OPA#11

The Secretary-Treasurer stated there were no concerns expressed during the Public Meeting for Official Plan Amendment No. 11, and Grey County supported the Town's review for Areas 1 & 2 in the County's 2021 Growth Management Strategy. The deadline for comments was February 22, 2022. A final recommendation / adoption is forthcoming from Grey County, that will be subject to an appeal period.

13. New Business

13.1. Housing Strategy

Vice-Chair Mark Ebert welcomed Brian Haack and Jack Schenk to the meeting to discuss their proposal.

The Secretary-Treasurer circulated a site plan illustrating two 6-storey apartment buildings with 100 units each (200 units total) and lower floor commercial. The plan also includes up to 50 lots for single detached dwellings.

Jack Schenk and Brian Haack own 19.6 acres of land described as Part of Lots 11 & 12, Concession 1 NDR and known as 853 24th Avenue, which includes the former CBM Concrete Plant land and is located north of Bren-Lea Subdivision. The subject lands have access to 24th Avenue (CR#28), and also through Bren-Lea Subdivision. An Environmental Impact Study, Archaeological Study, topographical survey have been completed for these lands.

Jack Schenk stated that he and Brian Haack recently met with Rick Rye and Baljeet Mahal regarding the construction of suitable housing for approximately 100 immigrant workers for Exceldor Foods, Maple Leaf Foods and other surrounding industries to satisfy their employment shortfalls.

The first phase of construction would see the construction of a 68' X 252' 6-storey apartment building with 100 2-bedroom apartment units (approximately 750 to 800 ft² each), with storage areas and EV chargers. The lower floor would offer space for small retail, restaurant, offices, clinics, etc. The apartment building would consist of pre-cast construction

Phase Two would mirror the first phase. Phase Three would see the construction of mixed residential lots.

The development offers approximately 4 acres for parkland areas, and would tie into the Community Trail System. The entrance from 24th Avenue would align with the access road being proposed by Saugeen Cedar Heights West Subdivision.

Vice-Chair thanked Jack & Brian for their very informative presentation. The Committee welcomes future development of their property.

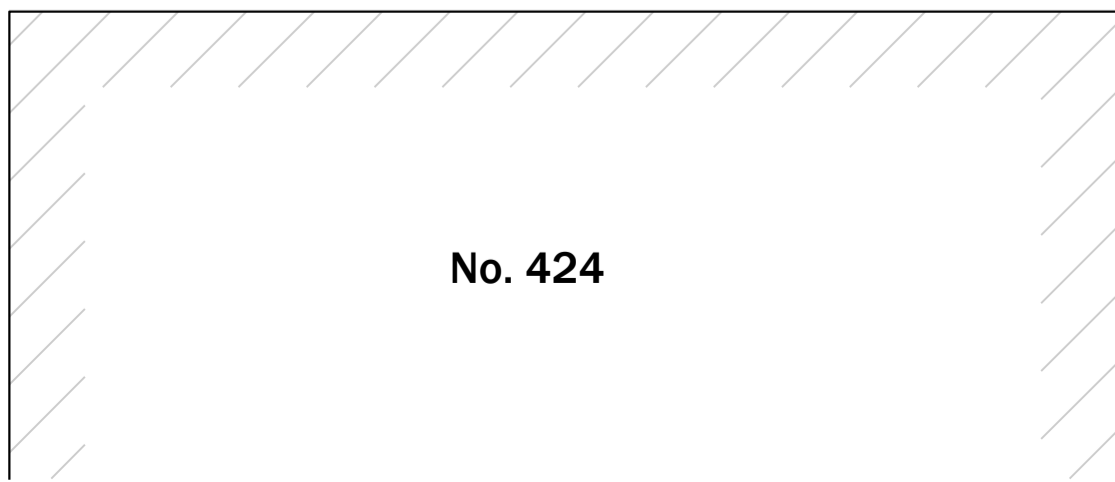
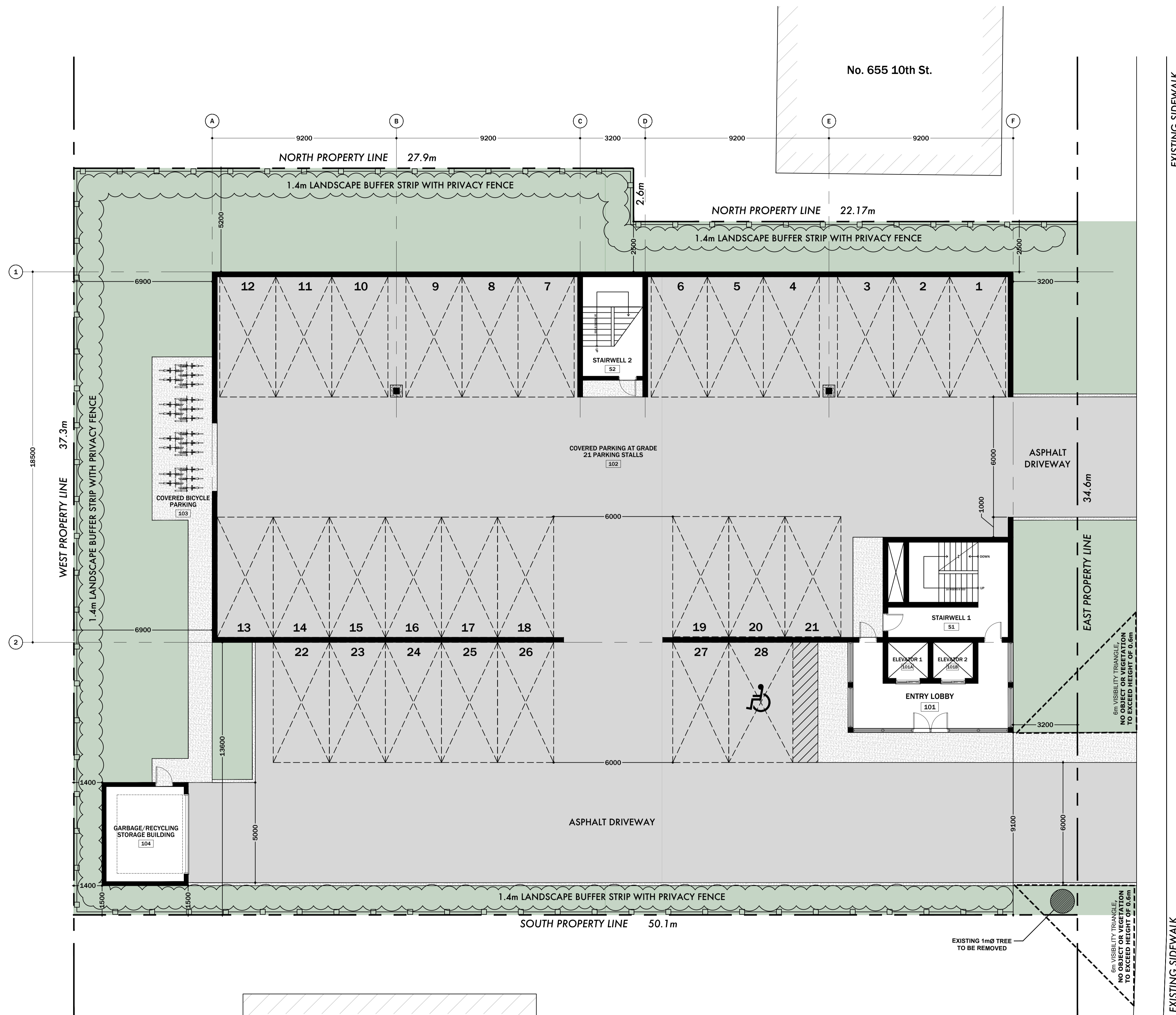
14. Adjournment

Moved by KEITH HOPKINS

THAT the meeting now be adjourned at 6:20 pm.

Vice-Chair, Mark Ebert

Secretary-Treasurer, Don Tedford



1 Ground Floor Plan
SCALE: 1:100

EXISTING SIDEWALK

EXISTING SIDEWALK

18TH AVENUE

Revisions	Date
ISSUED FOR REVIEW	10-02-2022

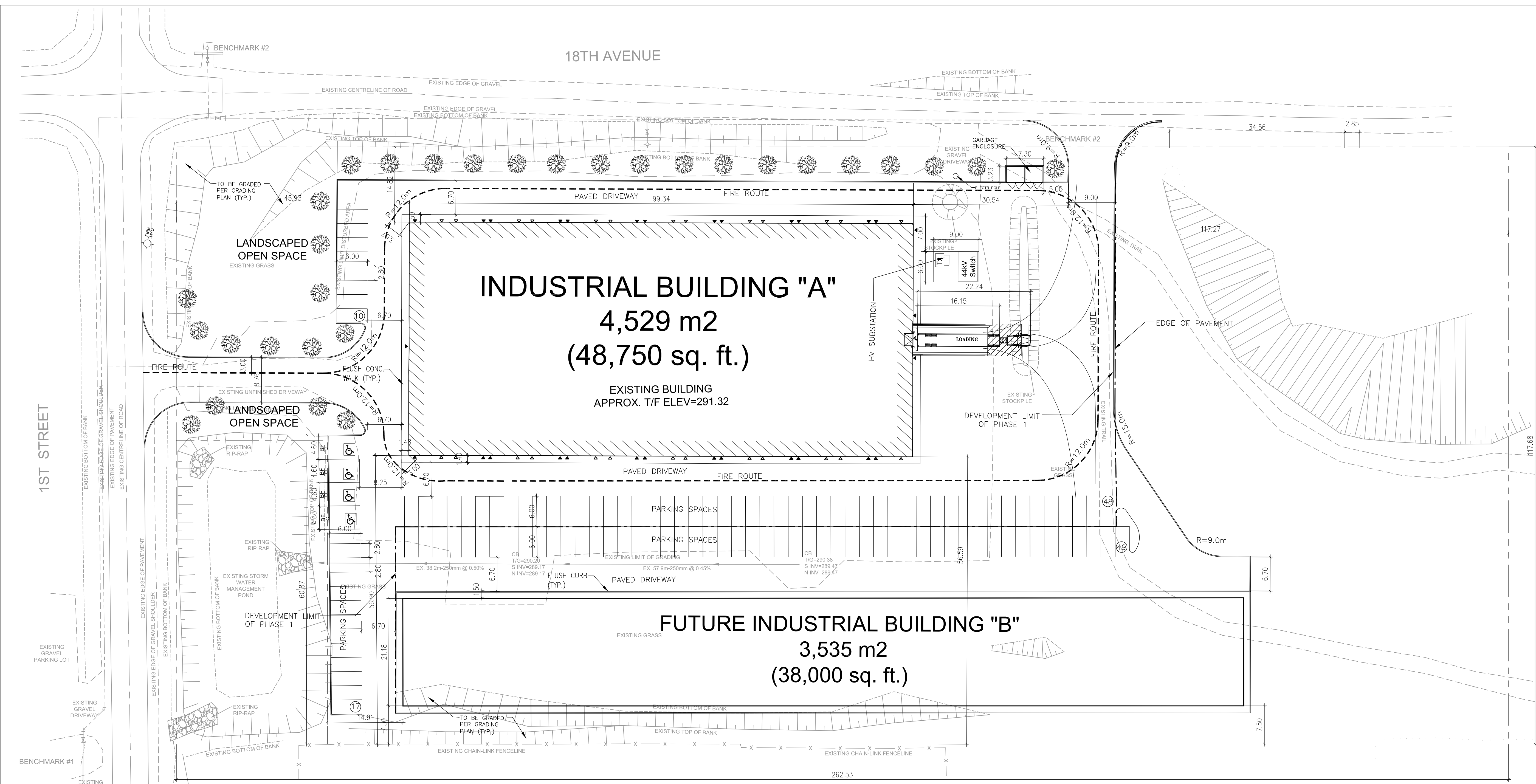
Notes
1.

Project North

Scale 1:100

Ground Floor Plan

A1



2 SITE PLAN
SP-1 SCALE 1:400

LEGAL DESCRIPTION:

SITE PLAN INFORMATION TAKEN FROM:
 PLAN OF SURVEY OF PART OF LOTS 7 & 8,
 CONCESSION 2 SOUTH OF DURHAM ROAD
 GEOGRAPHIC TOWNSHIP OF BENTINCK,
 TOWN OF HANOVER,
 COUNTY OF GREY,
 PREPARED BY R.F. DORE SURVEYING INC.,
 O.L.S., DATED APRIL 29, 2014

SITE STATISTICS

SITE AREA: 3.896 Ha
 ZONING (PER COMPREHENSIVE ZONING BY-LAW NO. 2912-15): RESTRICTED INDUSTRIAL ZONE (M1)
 LEGAL DESCRIPTION: PART OF LOT 7, CONCESSION 2, SDR, PARTS 2 & 3, REF. PLAN 16R-10457

NORTH (FRONT) YARD SETBACK: 45.93 m
 SOUTH (REAR) YARD SETBACK: 117.27 m
 EAST (SIDE) YARD SETBACK: 14.82 m
 WEST (SIDE) YARD SETBACK: 56.59 m
 SOUTH (REAR) LOT LINE: 117.68 m
 NORTH (FRONTAGE): 57.83 m
 EAST (SIDE) LOT LINE: 270.249 m
 WEST (SIDE) LOT LINE: 262.532 m

BUILDING DATA

INDUSTRIAL BUILDING "A" GROUND FLOOR AREA: 4,529.00 m²
 FUTURE INDUSTRIAL BUILDING "B" GROUND FLOOR AREA: 3,535.00 m²
 TOTAL BUILDING "A" + "B" GROUND FLOOR AREA: 8,064.00 m²

INDUSTRIAL BUILDING HEIGHT: 15.60 m (approx.)
 SITE COVERAGE - BUILDING A: 14.66 %

PARKING/LOADING DATA

INDUSTRIAL MALL	REQ'D	PROVIDED
PARKING - BUILDING A (1/65 m ²):	70	70
PARKING - BUILDING B (1/65 m ²):	54	54
PARKING - BUILDING A & B (1/65 m ²):	124	124
ACCESSIBLE PARKING (3/100)	4	4
LOADING	0	1

LEGEND

- DENOTES FIRE HYDRANT
- DENOTES BARRIER FREE PARKING SIGN
- THE FIRE ROUTE SHALL BE 6.0m WIDE AND CONSTRUCTED OF HEAVY DUTY ASPHALT TOPPED PAVEMENT WITH GRADIENTS PER GRADING PLAN
- EXTERIOR MAN-DOOR
- EXTERIOR OVERHEAD LOADING DOOR

DRAWING NOTES

- THIS DRAWING IS THE PROPERTY OF ANDRE SHERMAN, ARCHITECT IN CONFORMITY WITH CURRENT COPYRIGHT LEGISLATION UNDER THE ARCHITECTS ACT OF ONTARIO AND SHALL NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT THE PRIOR WRITTEN APPROVAL OF THE ARCHITECT.
- DETAIL DRAWING DIAGRAM DRAWING NUMBER
DETAILS ARE CROSS REFERENCED BY THE ABOVE SYMBOL.
- DRAWINGS ARE NOT TO BE SCALED. TOLERANCES MAY APPLY TO DIMENSIONS REFERRING TO EXISTING BUILDING OR SITE CONDITIONS.
- THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS, DIMENSIONS, DRAWINGS, DETAILS AND SPECIFICATIONS, AND REPORT ANY DISCREPANCIES TO THE ARCHITECT IN WRITING AT LEAST ONE WEEK BEFORE ORDERING OR INSTALLING CONSTRUCTION MATERIALS OR MAKING ANY MATERIAL CHANGES TO THE WORK INVOLVING SUCH DISCREPANCIES, ERRORS OR OMISSIONS. SHOULD THE CONTRACTOR FAIL TO OBSERVE THESE CONDITIONS, THE ADDITIONAL EXPENSE FOR REMEDIAL WORK SHALL BECOME THE RESPONSIBILITY OF THE CONTRACTOR AND NOT OF THE ARCHITECT UNDER ANY CIRCUMSTANCE.
- ANY CONSTRUCTION DETAIL CHANGES, SUBSTITUTIONS OF MATERIALS OR SPECIFIED ITEMS ARE NOT ACCEPTABLE UNLESS WRITTEN APPROVAL OR REVISION DRAWINGS INDICATING THE CHANGE(S) HAVE BEEN OBTAINED FROM THE ARCHITECT.
- READ ALL DRAWINGS IN CONJUNCTION WITH THE GENERAL NOTES AND SPECIFICATIONS.
- REPORT IN WRITING ALL UNCOVERED DISCREPANCIES OR CHANGES REQUESTED BY THE AUTHORITIES HAVING JURISDICTION TO THE ARCHITECT PRIOR TO CONSTRUCTION, MANUFACTURING OR INSTALLATION. ANY DRAWING REVISIONS MUST BE PREPARED BY THE ARCHITECT OR OTHER CONSULTANT(S) AS DIRECTED BY THE ARCHITECT.
- THE DRAWING HEREIN IS NOT ISSUED FOR CONSTRUCTION UNLESS OTHERWISE INDICATED.

No	DESCRIPTION	DATE	BY
3	FOR SITE PLAN APPROVAL	22/03/04	A.S.
2	FOR SITE PLAN APPROVAL	22/01/05	A.S.
1	FOR REVIEW	21/01/25	A.S.

REVISIONS

ARCHITECT OF RECORD:

ANDRE SHERMAN ARCHITECT

135 HOLMES AVENUE TORONTO, ONTARIO, M2N 4M5
 TEL: (416) 733-9000 E-mail: info@shermanarchitect.com

SEAL

ON TARIO ASSOCIATION OF ARCHITECTS

ANDRE SHERMAN LICENCE 3358

DRAWING TITLE

MULTI-UNIT INDUSTRIAL BUILDING

595 FIRST STREET
 HANOVER, ONTARIO

DRAWING TITLE

SITE PLAN

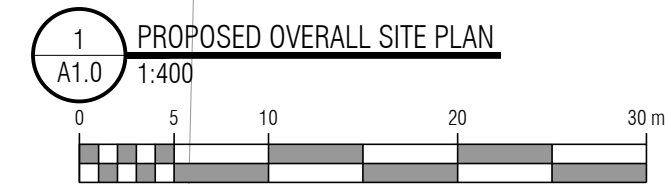
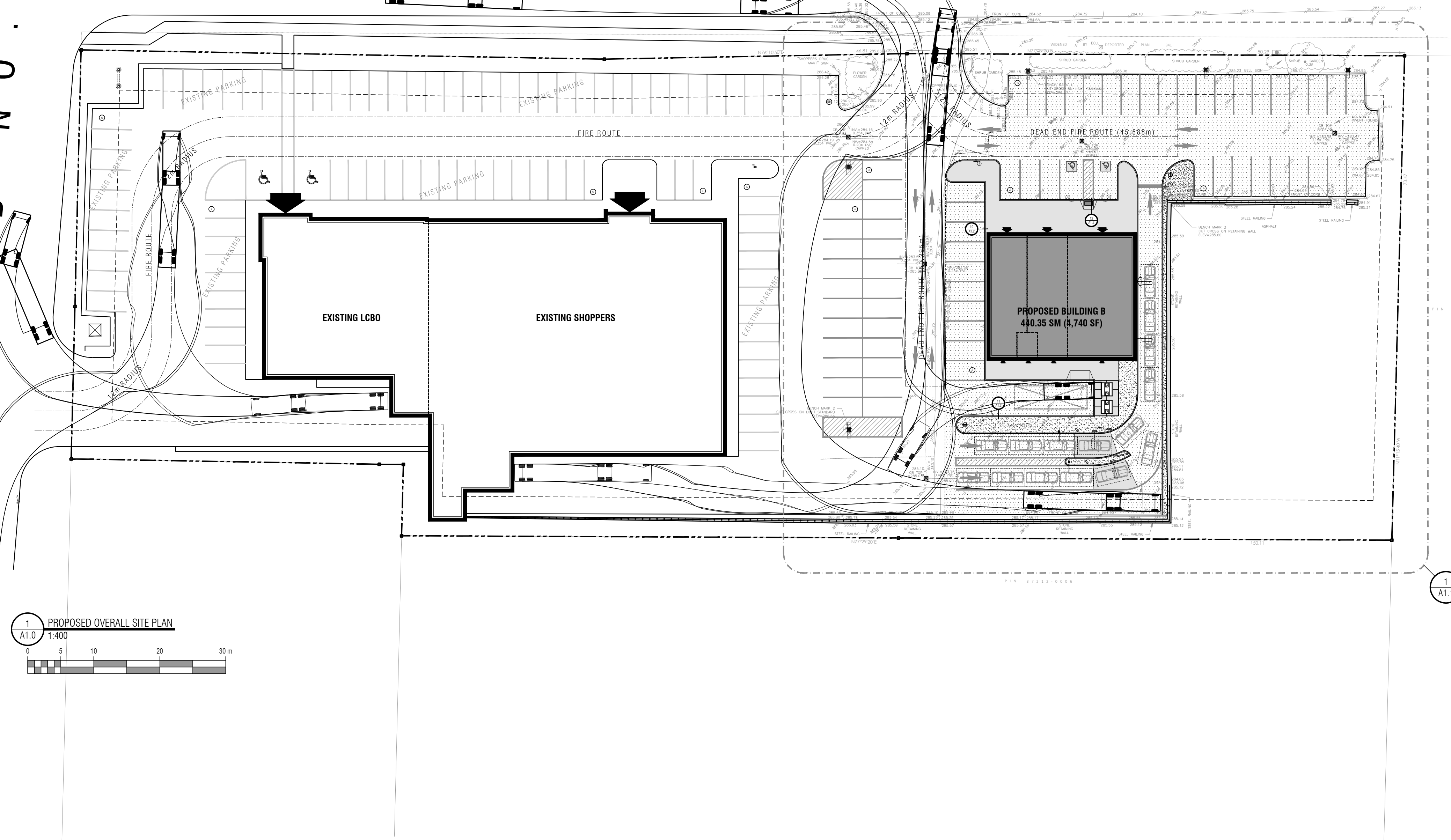
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SCALE	DATE
AS INDICATED	2021/01/25
DRAWN BY	CHECKED
AS	AS
DRAWING No	

SP-1

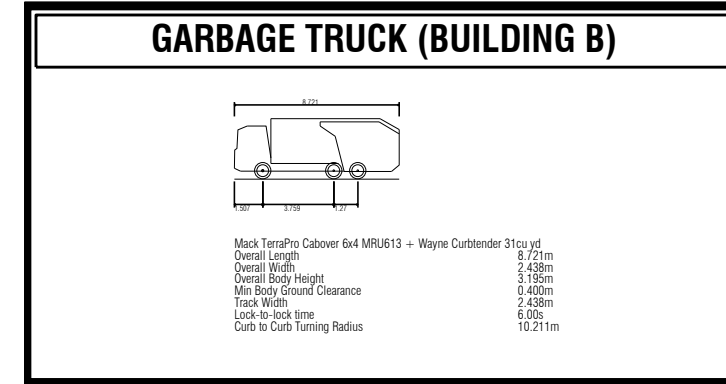
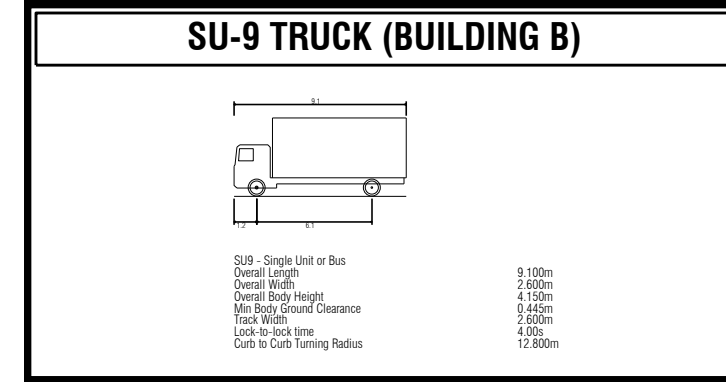
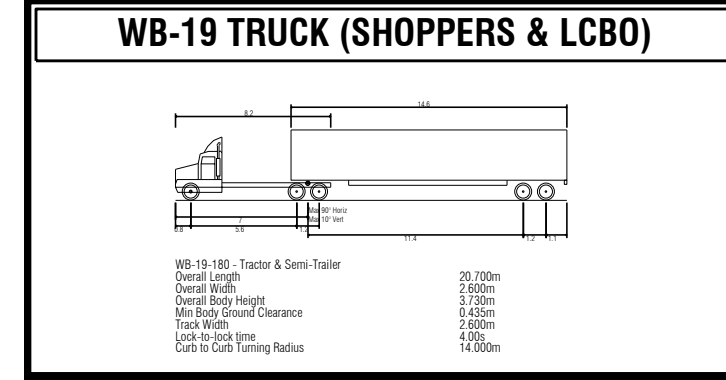
24th AVENUE
 (COUNTY ROAD NO. 28)
 COUNTY ROAD NO. 4

10th STREET
 (COUNTY ROAD NO. 4)



SITE DATA			
ZONE: C3 - LARGE FORMAT COMMERCIAL			
TOTAL SITE AREA:	151,705 SF	14,093.89 SM	3.5 ACRES
FRONTAGE:	10TH STREET	6.68 m	
SETBACKS:	REQUIRED	PROVIDED	
FRONT YARD:	7.5 m	26.984m	
REAR YARD:	6.0 m	26.972 m	
INTERIOR SIDE YARD:	3.0 m	39.322 m	
EXTERIOR SIDE YARD:	7.5 m	27.322 m	
COVERAGE			
BUILDING	AREA S.F.	AREA S.M.	COVERAGE (MAX 40%)
BUILDING A (LCBO & SHOPPERS)	25,763	2,393.42	16.98%
BUILDING B (UNIT 1)	1,203	111.78	0.79%
BUILDING B (UNIT 2)	1,203	111.78	0.79%
BUILDING B (UNIT 3)	2,200	204.39	1.45%
BUILDING B (MECH/ELEC)	133	12.40	0.09%
TOTAL GROSS FLOOR AREA:	30,502	2,833.77	20.11%
PARKING			
TOTAL STANDARD SPACES:	REQUIRED	PROVIDED	
RETAIL (1,000 SQM)	156	157	
RESTAURANT (100+14 SEATS)	32		
PARKING RATIO:		1/17.970	
BARRIER FREE:	REQUIRED	PROVIDED	
	4	4	
PARKING SPACE: 3.00m x 6.00m, 6.00m MIN AISLE			
BARRIER FREE SPACE: 3.90m x 6.00m			
FIRE ROUTE: 6.0m WIDE, MIN. 12.0m RADIUS			
LOADING			
EXCEEDING 2,300 S.M.	REQUIRED	PROVIDED	
	3	3	
COVERAGE CALCULATION			
BUILDING:	AREA S.F.	AREA S.M.	COVERAGE
LANDSCAPING:	42,930	3,988.37	28.3%
ASPHALT:	78,265	7,271.10	51.8%
ADDITIONAL ITEMS			
MINIMUM LANDSCAPING:	REQUIRED	PROVIDED	
	15%	28.3%	

LEGEND	
---	PROPERTY LINE
---	PROPERTY LINE ADJACENT
---	SETBACKS
FIRE ROUTE	
□	IRON BAR
○	PARKING COUNT
▲	PRINCIPAL ENTRANCE
▲	SECONDARY ENTRANCE
♿	BARRIER FREE SIGN (SEE DETAIL 2/A1.2)
♿	BARRIER FREE PARKING (SEE DETAIL 1/A1.2)
⊠	PYLON SIGN
⊠	CATCH BASIN
⊠	EARTHEN ON CONC. PAD (SEE DETAIL 6-9/A1.2)
⊠	2.7m x 5.2m CAR SPACE
→	TRAFFIC FLOW ARROWS (SEE DETAIL 5/A1.2)
⊠	'NO PARK' ZONE
⊠	GRASS AREA
⊠	NEW ASPHALT AREA
⊠	NEW SIDEWALK
⊠	ADA TACTILE STRIP (SEE DETAIL 4/A1.2)
⊠	STOP SIGN (SEE DETAIL 2/A1.2)
⊠	FIRE ROUTE SIGN (SEE DETAIL 2/A1.2)



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2	ISSUED FOR SPA	2022.02.28
1	ISSUED FOR REVIEW	2022.02.07
REV.	DESCRIPTION	DATE
△	REVISION	
□	ISSUED	
○	APPROVAL	

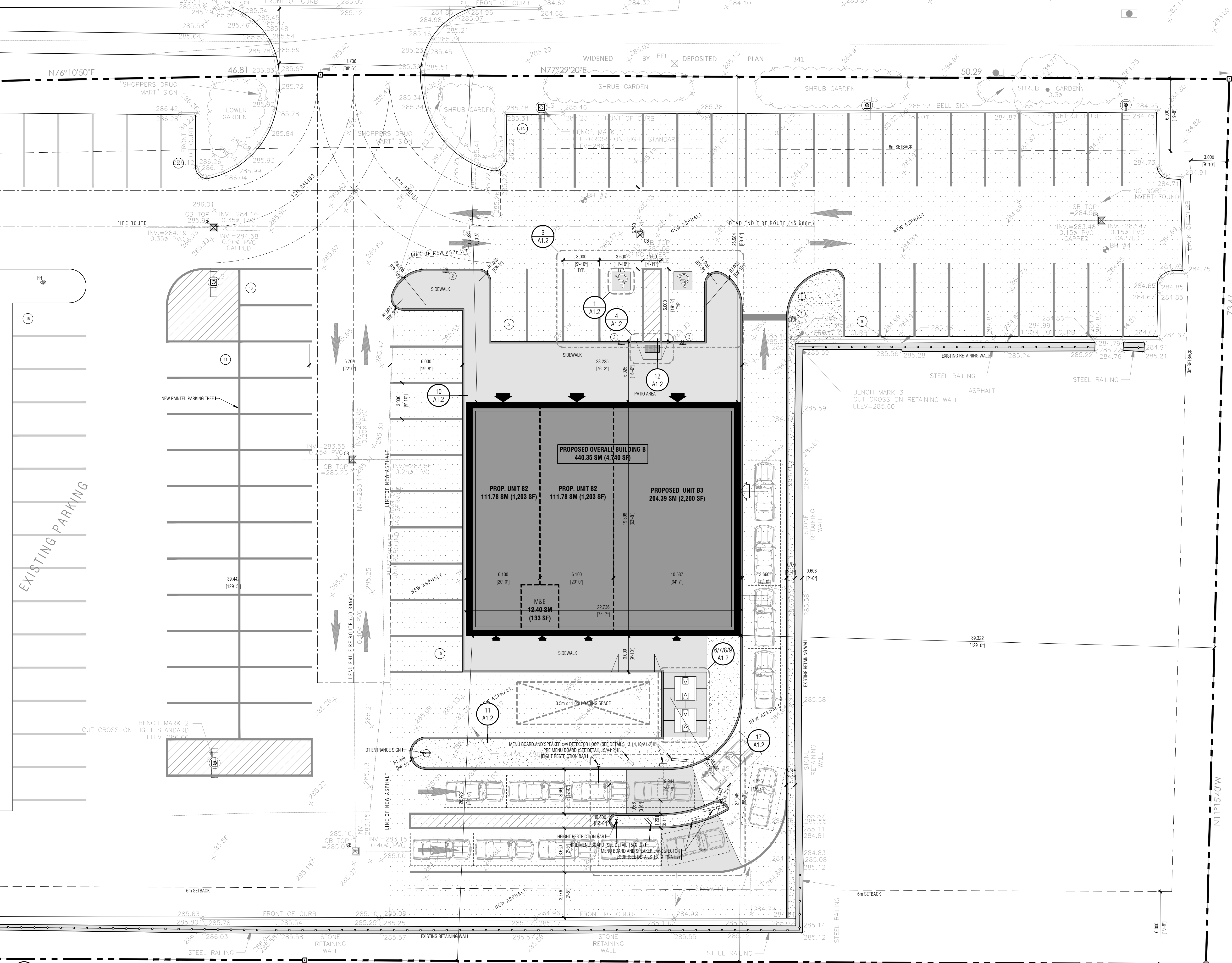


PROJECT FOR:
 PROJECT:
 NEW BUILD
 BUILDING B
 937 10th STREET
 HANOVER, ON

DRAWING: **PROPOSED OVERALL SITE PLAN**

DRAWN:	CHECKED:	JOB NUMBER:
MMW	SR	21285
DATE (YYYY/MM/DD):	SCALE:	
2022.02.28	1:400	
DRAWING NUMBER:	REVISION NUMBER:	
A1.0	R1	

10th STREET (COUNTY ROAD NO. 4)



SITE DATA			
ZONE: C3 - LARGE FORMAT COMMERCIAL			
TOTAL SITE AREA:	151,705 SF	14,093.89 SM	3.5 ACRES
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PARKING			
TOTAL STANDARD SPACES:	156	157	
RESTAURANT (10+14 SEATS):	32		
PARKING RATIO:		1/17.970	
BARRIER FREE:	REQUIRED	PROVIDED	
	4	4	
LOADING			
EXCEEDING 2,300 S.M.	REQUIRED	PROVIDED	
	3	3	
COVERAGE CALCULATION			
BUILDING:	AREA S.F.	AREA S.M.	COVERAGE
	30,502	2,833.77	20.1%
LANDSCAPING:	42,930	3,988.37	28.3%
ASPHALT:	78,265	7,271.10	51.6%
ADDITIONAL ITEMS			
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LEGEND	
---	PROPERTY LINE
- - - -	PROPERTY LINE ADJACENT
---	SETBACKS
FIRE ROUTE	
⊠	IRON BAR
⊙	PARKING COUNT
⬆	PRINCIPAL ENTRANCE
⬆	SECONDARY ENTRANCE
⬆	BARRIER FREE SIGN (SEE DETAIL 2/A1.2)
⬆	BARRIER FREE PARKING (SEE DETAIL 1/A1.2)
⬆	PYLON SIGN
⬆	CATCH BASIN
⬆	EARTHEN ON CONC. PAD (SEE DETAIL 6-9/A1.2)
⬆	2.7m x 5.2m CAR SPACE
⬆	TRAFFIC FLOW ARROWS (SEE DETAIL 5/A1.2)
⬆	NO PARK ZONE
⬆	GRASS AREA
⬆	NEW ASPHALT AREA
⬆	NEW SIDEWALK
⬆	ADA TACTILE STRIP (SEE DETAIL 4/A1.2)
⬆	STOP SIGN (SEE DETAIL 2/A1.2)
⬆	FIRE ROUTE SIGN (SEE DETAIL 2/A1.2)

WB-19 TRUCK (SHOPPERS & LCBO)	
WB-19 Truck & Semi Trailer	30.00m
Wheel Width	2.50m
Wheel Spacing	2.50m
Wheel Base	2.50m
Wheel to End Turning Radius	12.50m
Wheel to End Turning Radius	12.50m

SU-9 TRUCK (BUILDING B)	
SU-9 Truck & Box	12.00m
Wheel Width	2.50m
Wheel Spacing	2.50m
Wheel Base	2.50m
Wheel to End Turning Radius	12.50m
Wheel to End Turning Radius	12.50m

GARBAGE TRUCK (BUILDING B)	
Garbage Truck & Container	12.00m
Wheel Width	2.50m
Wheel Spacing	2.50m
Wheel Base	2.50m
Wheel to End Turning Radius	12.50m
Wheel to End Turning Radius	12.50m

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 Toronto: 522 Mount Pleasant Road
 Suite 200
 Toronto, Ontario M4S 2K3
 (416) 440-0058

REV.	DESCRIPTION	DATE
2	ISSUED FOR SPA	2022.02.28
1	ISSUED FOR REVIEW	2022.02.07



PROJECT FOR:
SKYLINE
 PROJECT: NEW BUILD
 BUILDING B
 937 10th STREET
 HANOVER, ON

PROPOSED PARTIAL SITE PLAN

DRAWN: MMW	CHECKED: SR	JOB NUMBER: 21285
DATE (YYYYMMDD): 2022.02.28	SCALE: 1:150	
DRAWING NUMBER: A1.1	REVISION NUMBER: R1	

P:\E:\Users\jw\Projects\2025 - 0377 10th Street, Hanover, ON\Site\21285 - Hanover A1.DWG (2022.02.28).dwg
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ELEVATION KEYED NOTES	
1	LINE OF DEMISING WALL BEYOND.
2	BLACK ANODIZED ALUMINUM FRAMES c/w CLEAR GLAZING.
3	BLACK ANODIZED ALUMINUM DOOR c/w CLEAR GLAZING.
4	MASONRY CLADDING.
5	PRECAST CONCRETE SILL.
6	EPS.
7	TEAL FACADE CANOPY WITH WOOD LOUVERS.
8	FACADE CANOPY SUPPORT.
9	GLOBE EXTERIOR LIGHTS.
10	EXTERIOR WALL MOUNTED POPEYES SIGNAGE.
11	EPS CORNICE. PAINT FINISH.
12	PROPOSED GRADE.
13	CONCRETE SIDEWALK / CURB.
14	VERTICAL WOOD PANEL SIDING.
15	BRAND CHARACTER SIGNAGE.
16	REAR SERVICE DOOR.
17	PRE-FINISHED METAL CAP FLASHING.
18	DRIVE-THRU WINDOW.
19	SLATED WOOD TOWER.
20	ORANGE DRIVE-THRU CANOPY c/w SUPPORT RODS.
21	EXTERIOR SIGNAGE.
22	MORALITY LIGHTS.
23	NICHHA VINTAGEBRICK, COLOR: ALEXANDRIA BUFF.
24	EXTERIOR WALL MOUNTED LIGHT FIXTURE.
25	ORANGE ANODIZED ALUMINUM DOOR c/w CLEAR GLAZING. COLOUR TO MATCH: PANTONE 3564C.
26	STAINLESS STEEL CLADDING.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO:

- CHECK AND VERIFY ALL DIMENSIONS ON SITE.
- REPORT ALL ERRORS AND/OR OMISSIONS TO GREYSTONE BEFORE CONTINUING WITH ANY WORK.

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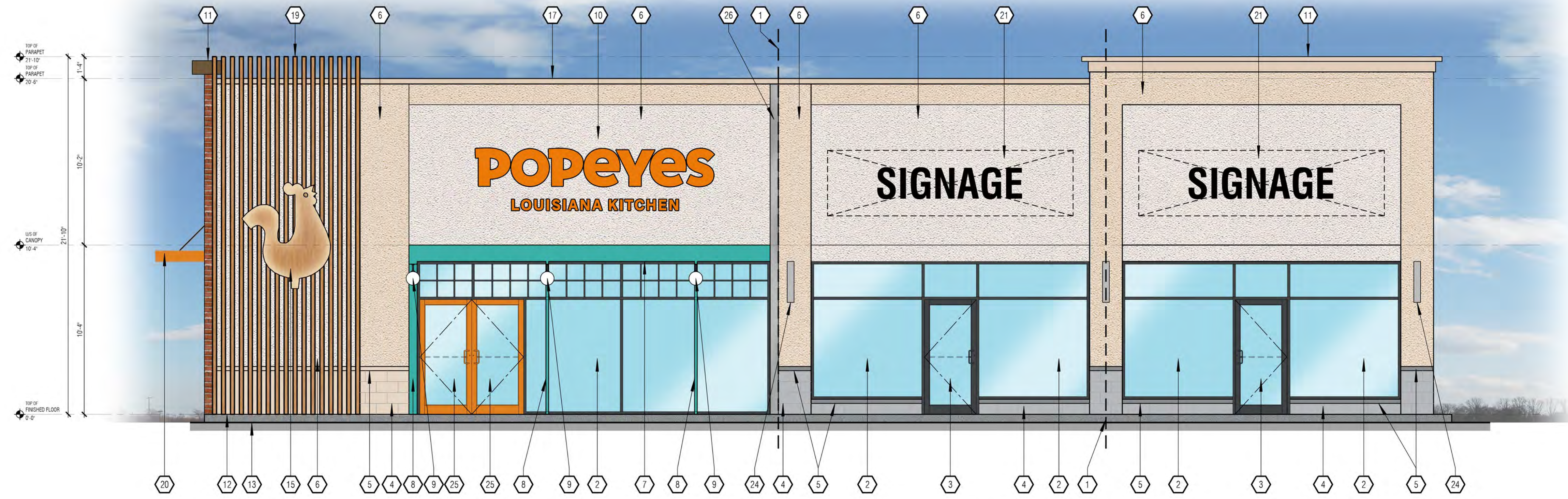
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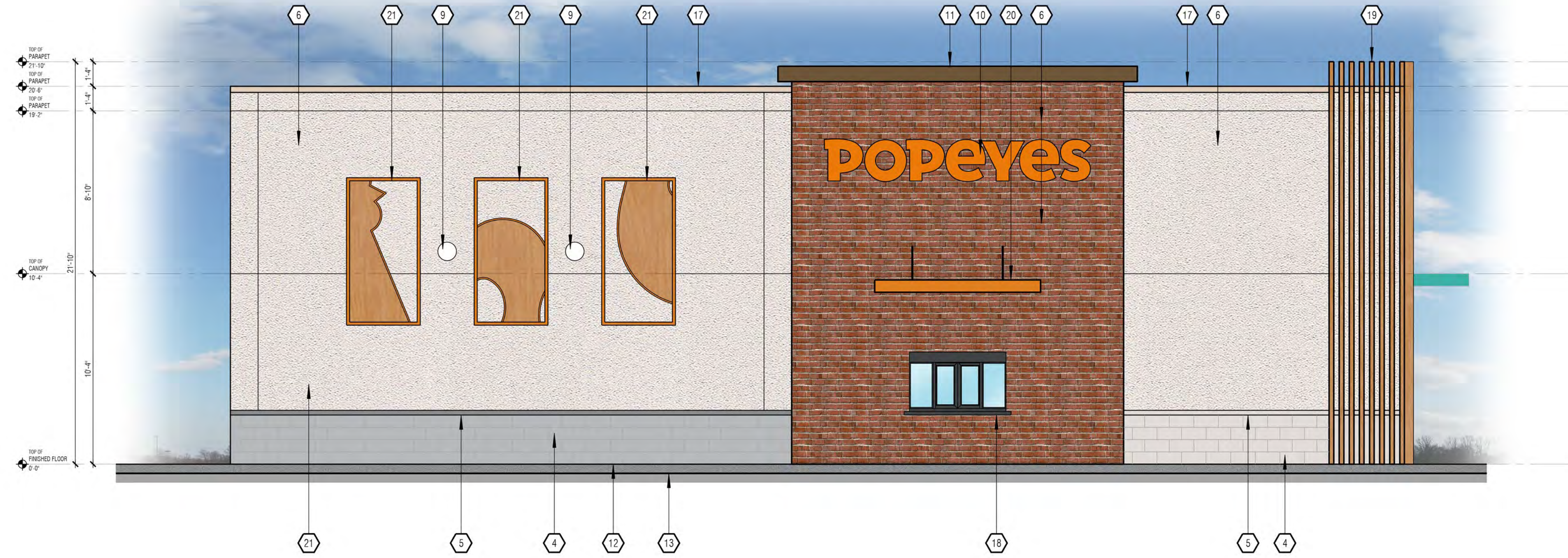


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1 NORTH ELEVATION
A3.0 1/4" = 1'-0"



2 EAST ELEVATION
A3.0 1/4" = 1'-0"

2	ISSUED FOR SPA	2022.02.28
1	ISSUED FOR REVIEW	2022.02.07
REV.	DESCRIPTION	DATE

△ REVISION □ ISSUED ○ APPROVAL

PROJECT FOR:



PROJECT: NEW BUILD

BUILDING B
937 10th STREET
HANOVER, ON

DRAWING: EXTERIOR ELEVATIONS

DRAWN: M.M.W. CHECKED: J.J. JOB NUMBER: 21285

DATE (YYYY/MM/DD): 2022.02.16 SCALE: 1/4" = 1'-0"

DRAWING NUMBER: A3.0 REVISION NUMBER: R2